

# FIRST FLOOR PLAN

1.57X1.50

HALL

6.22X4.9

BEDROOM

TOILET

D2 1.5X1.5

3.5X3.5

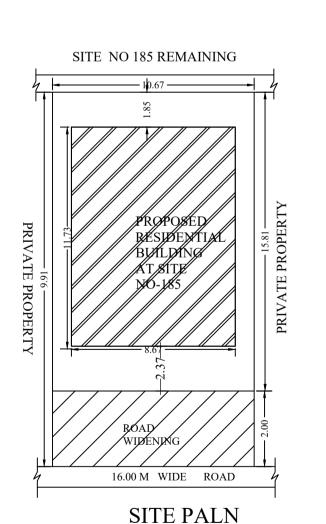
KITCHEN

2.82X3.0

POOJA

2.0X1.8

BEDROOM



TERRACE FLOOR PLAN

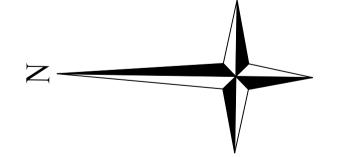
# Block: A1 (S CHANDRA SHEKAR)

Floor Name	Total Built Up Area (Sq.mt.)	Deductions (Area in Sq.mt.)		Proposed FAR Area (Sq.mt.)	Total FAR Area	Tnmt (No.)
		StairCase	Parking	Resi.	(Sq.mt.)	
Terrace Floor	18.81	18.81	0.00	0.00	0.00	00
First Floor	99.62	0.00	0.00	99.62	99.62	01
Ground Floor	99.62	0.00	0.00	99.62	99.62	01
Stilt Floor	99.62	0.00	80.81	0.00	18.81	00
Total:	317.67	18.81	80.81	199.24	218.05	02
Total Number of Same Blocks	1					
Total:	317.67	18.81	80.81	199.24	218.05	02

**ELEVATION** 

# UnitBUA Table for Block :A1 (S CHANDRA SHEKAR)

FLOOR	Name	UnitBUA Type	UnitBUA Area	Carpet Area	No. of Rooms	No. of Tenement
GROUND FLOOR PLAN	А	FLAT	99.62	73.22	7	1
FIRST FLOOR PLAN	В	FLAT	99.62	73.22	7	1
Total:	-	-	199.24	146.44	14	2



SECTION ON AA

# Required Parking(Table 7a)

Block	Туре	SubUse	Area	Units		Car		
Name			(Sq.mt.)	Reqd.	Prop.	Reqd./Unit	Reqd.	Prop.
A1 (S CHANDRA SHEKAR)	Residential	Plotted Resi development	50 - 225	1	,	1	2	,
	Total :		-	-	-	-	2	3

- R.C.C LINTEL

0.15 SOLID BLOCK WALL

- R.C.C LINTEL

0.15 SOLID BLOCK WALL

R C C FOOTINGS

R.C.C SLAB

# Parking Check (Table 7b)

Vehicle Type	Re	qd.	Achieved		
	No.	Area (Sq.mt.)	No.	Area (Sq.mt.)	
Car	2	27.50	3	40.50	
Total Car	2	27.50	3	40.50	
TwoWheeler	-	13.75	0	0.00	
Other Parking	-	-	-	40.31	
Total		41.25		80.81	

# Approval Condition:

## This Plan Sanction is issued subject to the following conditions:

1. Sanction is accorded for the Residential Building at 185, SITE NO 185 SHIVANANDANAGAR NAGARBHAVI MAIN ROAD, Bangalore.

2. Sanction is accorded for Residential use only. The use of the building shall not be deviated to any

3.80.81 area reserved for car parking shall not be converted for any other purpose. 4. Development charges towards increasing the capacity of water supply, sanitary and power main

5. Necessary ducts for running telephone cables, cubicles at ground level for postal services & space for dumping garbage within the premises shall be provided.

6. The applicant shall INSURE all workmen involved in the construction work against any accident

7. The applicant shall not stock any building materials / debris on footpath or on roads or on drains. The debris shall be removed and transported to near by dumping yard. 8. The applicant shall maintain during construction such barricading as considered necessary to

& around the site. 9. The applicant shall plant at least two trees in the premises.

11.License and approved plans shall be posted in a conspicuous place of the licensed premises. The

Architect / Engineer / Supervisor will be informed by the Authority in the first instance, warned in the second instance and cancel the registration if the same is repeated for the third time. 13. Technical personnel, applicant or owner as the case may be shall strictly adhere to the duties and responsibilities specified in Schedule - IV (Bye-law No. 3.6) under sub section IV-8 (e) to (k). 14. The building shall be constructed under the supervision of a registered structural engineer. 15.On completion of foundation or footings before erection of walls on the foundation and in the case 17. The applicant shall ensure that the Rain Water Harvesting Structures are provided & maintained in good repair for storage of water for non potable purposes or recharge of ground water at all times

20.In case of any false information, misrepresentation of facts, or pending court cases, the plan

Special Condition as per Labour Department of Government of Karnataka vide ADDENDUM

Applicant / Builder / Owner / Contractor and the construction workers working in the construction site with the "Karnataka Building and Other Construction workers Welfare

2. The Applicant / Builder / Owner / Contractor should submit the Registration of establishment and list of construction workers engaged at the time of issue of Commencement Certificate. A copy of the same shall also be submitted to the concerned local Engineer in order to inspect the establishment and ensure the registration of establishment and workers working at construction site or work place. 3. The Applicant / Builder / Owner / Contractor shall also inform the changes if any of the list of

4.At any point of time No Applicant / Builder / Owner / Contractor shall engage a construction worker in his site or work place who is not registered with the "Karnataka Building and Other Construction

1.Accommodation shall be provided for setting up of schools for imparting education to the children o f construction workers in the labour camps / construction sites.

2.List of children of workers shall be furnished by the builder / contractor to the Labour Department

4.Obtaining NOC from the Labour Department before commencing the construction work is a must. 5.BBMP will not be responsible for any dispute that may arise in respect of property in question.

The plans are approved in accordance with the acceptance for approval by the Assistant Director of town planning (WEST ) on date:06/01/2020 vide lp number: BBMP/Ad.Com./WST/0914/19-20

Validity of this approval is two years from the date of issue.

# BHRUHAT BENGALURU MAHANAGARA PALIKE

Block Land Use

Total FAR

Area (Sq.mt.)

218.05

218.05

Tnmt (No.)

Category

# OWNER / GPA HOLDER'S SIGNATURE

**COLOR INDEX** 

PLOT BOUNDARY

ABUTTING ROAD

AREA STATEMENT (BBMP)

BBMP/Ad.Com./WST/0914/19-20

Application Type: Suvarna Parvangi

Proposal Type: Building Permission

Building Line Specified as per Z.R: NA

Nature of Sanction: New

Planning District: 301-Kengeri

AREA OF PLOT (Minimum)

Deduction for NetPlot Area

NET AREA OF PLOT

FAR CHECK

Total

Road Widening Area

Permissible Coverage area (75.00 %)

Achieved Net coverage area ( 59.05 % )

Allowable TDR Area (60% of Perm.FAR)

Total Perm. FAR area (1.75)

Achieved Net FAR Area (1.03)

Residential FAR (91.37%)

Balance FAR Area (0.72)

Proposed BuiltUp Area

Achieved BuiltUp Area

Approval Date: 01/06/2020 4:11:14 PM

Proposed FAR Area

BUILT UP AREA CHECK

Payment Details

Sr No.

Premium FAR for Plot within Impact Zone ( - )

BBMP/28734/CH/19-20 BBMP/28734/CH/19-20

Permissible F.A.R. as per zoning regulation 2015 (1.75)

Additional F.A.R within Ring I and II (for amalgamated plot -)

Balance coverage area left (15.95 %)

Proposed Coverage Area (59.05 %)

Location: Ring-III

Zone: West

Ward: Ward-125

AREA DETAILS:

PROJECT DETAIL:

Authority: BBMP

Inward\_No:

EXISTING (To be retained)

EXISTING (To be demolished)

PROPOSED WORK (COVERAGE AREA)

VERSION NO.: 1.0.11

Plot Use: Residential

Plot/Sub Plot No.: 185

(A-Deductions)

NAGARBHAVI MAIN ROAD

VERSION DATE: 01/11/2018

Plot SubUse: Plotted Resi development

PID No. (As per Khata Extract): 35-169-185

Locality / Street of the property: SITE NO 185 SHIVANANDANAGAR

Land Use Zone: Residential (Main)

OWNER'S ADDRESS WITH ID NUMBER & CONTACT NUMBER: S CHANDRASHEKAR 16/11-1 2ND MAIN 5TH CROSS GOVINDARAJ NAGAR BANGALORE AADHAAR NO-216054015497

5. Chandrashekar

SCALE: 1:100

SQ.MT.

211.37

42.68

42.68

168.69

126.52

99.62

99.62

26.90

369.90

0.00

0.00

0.00

369.90

199.24

218.05

218.05

151.85

317.67

Payment Date Remark

1:28:38 PM

Remark

Fransaction

9438701507

Amount (INR)

989

Amount (INR) | Payment Mode

989

ARCHITECT/ENGINEER /SUPERVISOR 'S SIGNATURE JEEVITHA 42, 3RD CROSS, 2ND MAIN, HOSAHALLI, VIJAYANAGARA

PROJECT TITLE:

BCC/BL-3.6/E-4301/2017-18

PLAN SHOWING THE PROPOSED RESIDENTIAL BUILDING AT SITE NO 185 SHIVANANDANAGARA, NAGARBHAVI MAIN ROAD BANGALORE WARD NO 126.PID NO-35-169-185

DRAWING TITLE:

04-22-21\$\_\$CHANDRASHEKHAR

SHEET NO: 1

a).Consist of 1Stilt + 1Ground + 1 only.

has to be paid to BWSSB and BESCOM if any.

/ untoward incidents arising during the time of construction.

prevent dust, debris & other materials endangering the safety of people / structures etc. in

10.Permission shall be obtained from forest department for cutting trees before the commencement

building license and the copies of sanctioned plans with specifications shall be mounted on a frame and displayed and they shall be made available during inspections. 12.If any owner / builder contravenes the provisions of Building Bye-laws and rules in force, the

of columnar structure before erecting the columns "COMMENCEMENT CERTIFICATE" shall be obtained. 16.Drinking water supplied by BWSSB should not be used for the construction activity of the building. having a minimum total capacity mentioned in the Bye-law 32(a).

18.If any owner / builder contravenes the provisions of Building Bye-laws and rules in force, the authority will inform the same to the concerned registered Architect / Engineers / Supervisor in the first instance, warn in the second instance and cancel the registration of the professional if the same

19. The Builder / Contractor / Professional responsible for supervision of work shall not shall not materially and structurally deviate the construction from the sanctioned plan, without previous approval of the authority. They shall explain to the owner s about the risk involved in contravention of the provisions of the Act, Rules, Bye-laws, Zoning Regulations, Standing Orders and Policy Orders of

sanction is deemed cancelled.

# (HosadaagiHoodike) Letter No. LD/95/LET/2013, dated: 01-04-2013 :

Board"should be strictly adhered to

workers engaged by him.

workers Welfare Board".

Block USE/SUBUSE Details

FAR &Tenement Details

Block Use

Residential

Total Built Up

Area (Sq.mt.)

317.67

Block SubUse

Plotted Resi

StairCase

18.81

Deductions (Area in Sq.mt.)

Parking

80.81

80.81

Block Structure

Bldg upto 11.5 mt. Ht.

(Sq.mt.)

Resi.

199.24

199.24

Block Name

A1 (S CHANDRA

SHEKAR)

CHÀNDRA

SHEKAR)

3. Employment of child labour in the construction activities strictly prohibited.

6.In case if the documents submitted in respect of property in question is found to be false or

fabricated, the plan sanctioned stands cancelled automatically and legal action will be initiated.

to terms and conditions laid down along with this building plan approval.

Name : VEERESH ALADAKATTI Designation : Assistant Director Town Planning (ADTP) Organization : BRUHAT BANGALORE MAHANAGARA PALIKE..

# ASSISTANT DIRECTOR OF TOWN PLANNING (WEST

UserDefinedMetric (750.00 x 594.00MM)\_1 This is a system generated drawing as per the soft copy submitted by the Architect/ License Engineer